



# WEST POINT

## **MASTER GUIDELINES**

For Architecture, Site Planning and Landscaping

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## Master Design and Construction Guidelines

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### I. INTRODUCTION

West Point is a special place located in the center of St. Simons Island, one of the most beautiful and historic islands in the world. The temperate climate it enjoys, its natural beauty, its privacy, its proximity to the other magnificent Golden Isles of the Georgia coast as well as to the metropolitan centers of Savannah and Jacksonville make this a unique and sought-after location to live. The island offers great shopping, gourmet restaurants, art galleries, golf, tennis, equestrian center, beautiful beaches and a wealth of boating and fishing activities. To capitalize on these assets, West Point Plantation, LLC has built a remarkable private, gated community that features spacious building sites nestled among towering pines and majestic 200-year-old oaks. There are water views, lighted and paved streets with curbs, gutters, storm sewers, and underground utilities in place and waiting for you to build your dream home. The community has five miles of connected sidewalks for your walking pleasure, with plans for a clubhouse, tennis courts and a pool, and its convenient location is protected from hurricanes. Nearby is Fort Frederica and Christ Church, as well as churches of many denominations. Oglethorpe Elementary School, rated among the top twenty in the state, is located less than two miles away.

West Point has created a master plan with design and building standards that will guarantee an aura of tranquility unmatched anywhere to assure our property owners of having a community that will be a treasured place to live as well as a valued investment.

A variety of architectural styles are encouraged while keeping in mind designs appropriate for our southern low country setting. To this end, these guidelines have been set for both design and construction as a means of assuring that values will be preserved, and that West Point will be one of the most sought-after communities in the Southeast.

Please read these guidelines to answer any questions you might have and to see some of the many home designs that have already approved. You will find in this document a step-by-step process for choosing a home design and having your design and construction plans approved by our Architectural Control Committee (ACC). Please contact us if we can be of help in any way.



## **Basic Home Requirements:**

Each lot shall have only one single family home of at least 2,000 heated square feet (if a two-story house, at least 1,500 square feet on first floor) with a minimum two car garage as part of the main building or attached by a covered passageway and, in either case, not facing any street. There must be a concrete or paver driveway from the street to the garage with parking and/or turning area for two cars. The house must have a minimum of three bedrooms, each with private full bath, or two bedrooms connected by a full bath. There must be a minimum ceiling height of nine (9) feet on first floor. Design, house placement on lot, setbacks, landscape design, construction materials, and other requirements will be found in this document. Preassembled homes constructed off site to be assembled on site are not allowed. Air conditioner window units are not allowed.

## **II. DESIGN REVIEW**

### **A. Composition and Function of Architectural Control Committee**

The West Point Plantation, LLC and the West Point SSI Property Owners Association shall appoint a three (3) or five (5) member Architectural Control Committee for the purpose of maintaining and enforcing architectural design, site planning, landscape design and construction standards in conformance with the covenants and these guidelines. These controls reflect the information that responsible architects and builders should require to effectively design a home.

Adherence to these controls is a condition of the purchase of the property. Should a property owner not comply with these controls, West Point Plantation, LLC has the right to repurchase the property at its original sales price less previously paid commissions and less an additional fifteen percent (15%) of the original sales price for a repurchase fees. Reasonable notice and opportunity to cure any violation will be made available in advance of repurchase procedure.

The Architectural Control Committee (ACC) will meet periodically as necessary to consider matters of proposed improvements within West Point . Policies on meeting schedules and ACC activities will be established by West Point Plantation, LLC or the Board of Directors of the West Point SSI Property Owners Association may change from time to time. ACC approval is intended as an oversight process that does not release the property owner from the responsibility of complying with all property owner's association protective covenants as well as architectural standards and all governmental regulations.



The ACC and these guidelines have been established to achieve the following objectives:

1. Assure quality design and construction that is compatible with the overall design objectives of the West Point community.
2. To provide a systematic and uniform review process for the approval of proposed construction.
3. To assure that the unique natural setting of the community is preserved and enhanced by prevention of excessive clearing and grading which could cause disruption of natural water courses, landforms and vegetation.
4. To assure that the siting and architectural design of structures are visually compatible with the terrain and vegetation within the property as well as the surrounding properties and community as a whole.
5. To assure that landscape plans provide visually pleasing settings and blend with the natural landscape and neighboring properties.
6. To assure that any development, construction of buildings, or landscaping complies with the provisions of the covenants and these guidelines.

## **B. Steps to Construct Your home**

Before the construction of any building, landscape feature, other structure, or any change in any structure, two (2) complete sets of plans and an Application for Approval of Residential Construction form shall be submitted to the Architectural Control Committee (ACC). (A sample application form is shown in the Appendix of these guidelines and copies may be obtained from the WPP office.) The plans must receive final written ACC approval prior to construction, including site clearing. If exterior changes to a building or colors and materials are contemplated during construction, the changes must be approved by the ACC. The plans should be accompanied by a onetime submission fee of \$100.00 payable to West Point SSI Property Owners Association. These funds go to defray some of the costs of operating the ACC. Fees are subject to change by West Point Plantation, LLC. All ACC reviews will be responded to in less than thirty days from time of submission. The property owners must follow the steps involved in construction are listed below and explained in detail:

1. Review covenants and guidelines
2. Obtain a survey of the lot



3. Select design consultants (architect and/or landscape architect and contractor) and give each a copy of this document.
4. Submit preliminary plan for review by ACC.
5. Revise if necessary.
6. Submit final plan for review for ACC.
7. Obtain approval letter from ACC, and building permits
8. Begin construction
9. Final review before occupancy

## 1. Survey

One of the first steps in the site planning process is to obtain a tree and topographical survey from a registered land surveyor. This survey is an important tool in preparation of an environmentally sensitive site plan. The following items must be included on all surveys:

- a. Property lines with bearings and distances
- b. Setbacks and easements
- c. All trees (include size and species) in excess of 8 inches (measured 4 feet above grade) and all clusters of small trees that might influence design
- d. Topographical contour lines (one-foot contour intervals)
- e. Existing ditches, drainage ways and drainage structures, wetland boundaries per previous delineations, location of storm sewers, sanitary sewer, water, electric and irrigation connections.
- f. Existing roads, utilities and other improvements
- g. Water edge, water level and top of bank
- h. Location of adjacent houses and features that could influence design
- i. North arrow, scale and title with name and address of legal owner.
- j. Any other information required by Georgia Law for real property surveys.



## 2. Preliminary Plan Review

This step provides the applicant with the opportunity to approach the ACC to receive initial feedback on a proposal before extensive work has been performed. The preliminary review allows the ACC to further understand the proposed design and to assure compliance with the development philosophy for West Point . Preliminary plans may be submitted as soon as the design objectives are identified, and the owner and consultants are able to arrive at a design and illustrate the basic relationships relative to the site including general architectural form, materials articulation and circulation. Site plans submittals should be prepared as an overlay and shall include the following:

- a. **Site Plan:** At 1" = 20' scale or larger, superimposed over survey plan and illustrating the following:
  - Building plan with exterior walls and roof overhang delineated
  - Entrance areas and decks or terraces, including steps or ramps down to grade.
  - Drives, walks, patios, pools, service yards, privacy fences, swimming pools, etc.
  - Proposed drainage and extent of fill to be placed
- b. **Preliminary Floor Plans:** At 1/4" = 1' scale showing the layout of all rooms for all levels (including dimensions) of proposed building.
- c. **Preliminary Elevations:** At 1/4" = 1' scale representing four sides of the proposed structure and illustrating existing/proposed grades and overall height from existing pre-construction grade to highest roof line.
- d. **Preliminary Stakeout:** Before plans can be reviewed, the general massing of the building must be staked in the field by identifying all corners of all above grade structures. Trees to be removed must be flagged with surveyor's tape.

## 3. Final Plan Review:

The final review is the procedure that leads to the official written consent by the Architectural Control Committee to commence any construction or clearing of site. Final construction plans shall be submitted after all necessary changes are made on the basis of the preliminary review process. A final stakeout of the entire plan (outline) of the building(s) must be accurately located in the field prior to submitting for final review. The stakeout shall constitute a 2" x 4" wood stake at each corner of the building(s) and raised decks or terraces with stakes connected by a string delineating the entire outline of the structure(s). Two complete



sets of final plans and a completed Application for Approval of Residential Construction will be submitted for final approval. Once approved, one set of plans will be retained by the ACC and the other set will be stamped "Approved", dated, and returned to the applicant.

The following documents and information shall be submitted for final design review:

- a. **Site Plan:** At  $1/8" = 1'$  or an appropriate scale not smaller than  $1/20" = 1'$ .
  - The site plan shall include all pertinent information from the survey required herein as well as show all improvements to the property including:
  - Exterior building walls including raised decks and terraces and edges of roof overhangs.
  - Indicate dimensions and materials for driveway, walks and miscellaneous.
  - Site pavements.
  - Site utilities including water, sewer, electric and HVAC including meter transformers and compressor sizes and locations including finished elevation.
  - Limits of construction.
  - Flood elevation statement indicating required finished floor to bottom of structure, whichever prevails.
  - Exterior lighting plan.
- b. **Dimensioned Foundation Plan and Framing Plan:** At  $1/4" = 1'$  scale showing location and sizes of foundations and framing elements including raised decks and terraces.
- c. **Floor Plans:** Prepare at  $1/4" = 1'$  scale showing all levels and containing all information necessary for construction.
- d. **Elevations:** At  $1/4" = 1'$  scale, representing the view of all sides of the building. Indicate existing grade, fill, and label each finished floor elevations. If fences appear in the foreground of an elevation, a second elevation must be presented showing proposed vertical elements beyond the fence line. Graphically depict and label all materials selections for trim, siding, chimney, chimney cap, foundation and entry steps.
- e. **Building Sections:** At  $1/4" = 1'$  scale detailed drawings as necessary for clarification or construction including:
  - Typical wall section
  - Typical decks and railings



- Typical fence, patio wall or screening detail if appropriate
- Other features desirable for clarification

**f. Electrical, Plumbing and Mechanical Plans**

- g. Building Materials and Colors:** Samples of exterior materials and colors must be submitted to the ACC at the time of the final review for construction. Color selections for siding, trim, roofing, brick, tile, stucco, etc. must be a true representative sample of the finished material. Color chips of siding stain, paint colors or stucco finish are not acceptable. Identifiable color chips of paints are acceptable. Collect and label name manufacturer, grade, type of finish and proposed application for samples of the proposed exterior site and building materials and finish colors, as follows:

- Pavers
- Exposed aggregate pavement
- Pervious driveway
- Siding
- Roofing (300 lb. minimum)
- Typical face brick
- Stucco
- Any other material which can be seen from anywhere off the property.

**Color Samples**

- Deck
- Walks
- Exterior lighting fixtures
- Miscellaneous site structures
- Service court walks and fences
- Siding and shutters
- Stucco
- Trim
- Chimney
- Exterior doors
- Provide manufacturer's "cut sheets" or photographs of all outside lights and similar hardware.



**h. Landscape and Irrigation Plan:** It is the objective of the ACC to assure all residents that West Point will continue to be an attractive place to reside and that the values for property owners will be enhanced. Therefore, the ACC requires that all applicants include a landscape and irrigation plan with their submittals for final review. This plan should graphically illustrate an accurate scale representation of the mature size of the specified trees, shrubs, ground covers and a full design for the irrigation system. This plan should also indicate proposed grading and drainage including all spot grades necessary to insure proper function and construction. Landscape plans are to be prepared at the same scale as the final site plan and should include:

- Variety, size, location and quantity of all plant material
- Types and limits of lawn areas
- Plant list with botanical name, common name, quantity, sizes
- Paving, borders, fences, pools, decks, patios, and retaining walls
- Landscape lighting
- Proposed grading illustrating drainage intent (including structures)
- Any sculpture, fountains, bird baths, decorative structures of any kind
- Types and ratings of sprinkler heads, drip irrigation devices, pipes, meter controls and valves. The cycle times should be presented along with the total amount of water to be used from the metered source.

#### 4. Complete Submission and Final Review:

Any submission that does not include all plans, applications, materials, submittals and any other item required for the final review will not be placed on the agenda until all requirements have been satisfied.

#### 5. Final Review Meeting:

Upon completion of the review of the final design plans and specifications, the ACC will take one of three actions, as follows:

**a. Project Acceptance:** All submittals are complete and appear to comply with the West Point guidelines. Plans will be stamped “Approved” and dated and an approval letter will be sent to the owner, builder, or architect as appropriate.



- b. **Project Acceptance Subject to Specific Modifications:** The project can qualify for approval provided certain aspects of the design are specifically modified as suggested by the ACC. Upon ACC acceptance of a modified project the plans will be stamped "Approved" and a letter will be sent to the owner, builder or architect as appropriate.

**Approvals shall be dated and shall be effective for a period of 12 months from date of approval. If substantial construction has not been completed within the 12-month period from date of approval, the permit becomes void and the permitting process must start from the beginning to qualify for review.**

- c. **Rejection:** The ACC believes the project does not comply with the West Point Design Guidelines or Covenants. A notice of rejection shall specify the basis for rejection of the design and, where appropriate, will propose acceptable changes and may return copies of plans with appropriate markings to amplify the ACC comments and recommendations. Plans may be disapproved upon any grounds which are consistent with the objectives of the Covenants or these guidelines including aesthetic considerations.

## 6. West Point Building Permit:

After written notice of approval has been received by the owner, a West Point building permit can be obtained from the WPP office. This permit must be displayed on the job site along with a Glynn County building permit and any other permits required by law. Lot clearing and construction cannot begin until these permits have been issued and posted.

## 7. Completed Construction Review:

Upon completion of all construction and landscaping, the dwelling and landscaping will be inspected, a mailbox and post will be installed by West Point Plantation, LLC, and a certificate of occupancy issued completing the building process.

## 8. Improvement Review:

Changes or additions to the approved plans that will affect appearance of the approved project or modifications of existing improvements must be submitted to the ACC for review.

Presentations must include but may not be limited to the following:



- a. **Letter of Intent:** The applicant should inform the ACC as to the purpose of the improvements and give a general description.
- b. **Site Plan:** A dimensional plan showing proposed location for improvements.
- c. **Materials and Color Samples of Exterior Finishes:** Samples along with appropriate description to represent a product's properties may be prepared by manufacturers, contractors, consultants or owners and must be of size, form and durability to be filed until completion of the project.

### III. DESIGN GUIDELINES

All projects will be evaluated for aesthetic considerations and compliance with the West Point covenants and guidelines. Considerations may be based on scale, exterior material usage, color, siting, and compatibility with existing natural and manmade conditions. Meeting an acceptable range of common design criteria is necessary to ensure that individual improvements reflect the overall design objectives of the entire community. All improvements shall be subject to the following guidelines:

#### A. Architectural Design Standards:

Architectural style shall not be prescribed but homes must impart the feeling that they belong in West Point . A book of home designs is available that present examples of the look and feel that is appropriate for West Point . These designs are not pre-approved.

The aesthetic appearance of a residence depends greatly upon the articulation of siding, roofing details, fenestration, walls and fences. All projects will be evaluated for aesthetic appearance and guidelines conformance of the following items:

##### 1. Foundations:

Concrete floor slabs with integral perimeter footings placed on fill dirt are permitted only when the lowest inhabited floor level is elevated to a minimum of nine feet (9') above mean sea level ("MSL"), or one foot over the most recent FEMA-approved level at West Point SSI as of the date of permit pulling for such construction, whichever is a higher elevation. A raised foundation with "crawl space" is often desired. The enclosure of this foundation must receive the same careful attention to detail and finishes as the main portion of the house. Concrete block foundations are to be finished in stucco, tabby or brick. Wooden pilings are to



be cased in wood. Exposed round pilings are not appropriate. Open areas under elevated homes shall be screened on all sides with lattice, louvers, siding or some other appropriate architectural treatment. (See Figure 1)

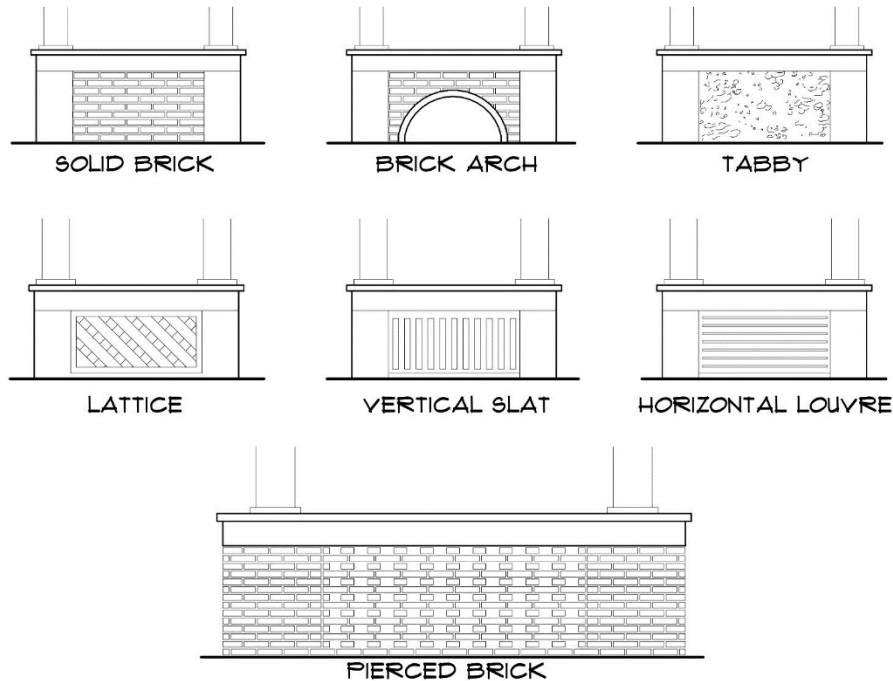


Figure 1: Raised Foundation In-Fill Techniques

## 2. Filling:

Should the site be filled or partially filled, the foundation plans must be accompanied by drawings showing the contour and elevations of the proposed fill. Care must be given to maintain the proper appearance of the combined building, roading and landscape design, drainage and tree protection.

## 3. Exterior Wall Finishes:

### a. Materials:



At West Point SSI, the exterior wall surfaces shall be wood, Hardie type product, stucco, or tabby (oyster shell exposed in concrete). Another material may be used as an exterior wall treatment provided the ACC approves the selection.

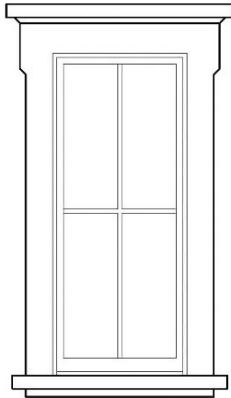
**b. Colors:**

The dominant stain or paint color for any project should be compatible with the environment. Earth tone colors on wood and muted pastels on stucco such as traditionally found in Charleston and Savannah are recommended. Trim colors should complement the dominant color.

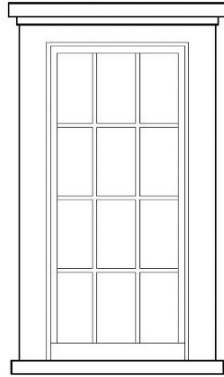
**4. Windows, Dormers, Shutters and Doors:**

Proportions of windows should be in scale with the house and be located to enhance both the exterior appearance and interior light quality. Window frames are to be anodized aluminum with painted finish, vinyl, or another product approved by the ACC. Unpainted metal finishes are not permitted.

All exterior doors shall be solid wood, fiberglass, metal, or another material approved by the ACC. All windows shall be of a material and style approved by the ACC. (See Figure 2). Some common dormer, shutters and door types are illustrated in Figure 3.

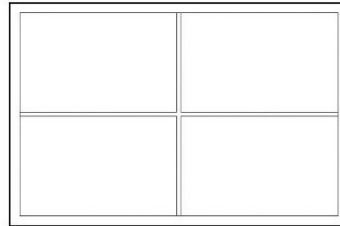


2 OVER 2  
DOUBLE-HUNG

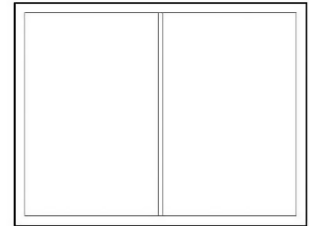


6 OVER 6  
DOUBLE-HUNG

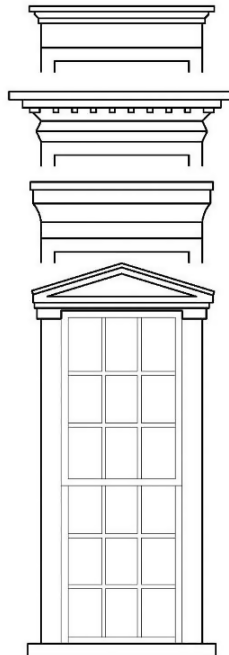
ACCEPTABLE  
(IF CANNOT BE VIEWED FROM THE STREET)



PICTURE WINDOW  
(EMPHASIS ON HORIZONTAL)



SLIDER TYPE

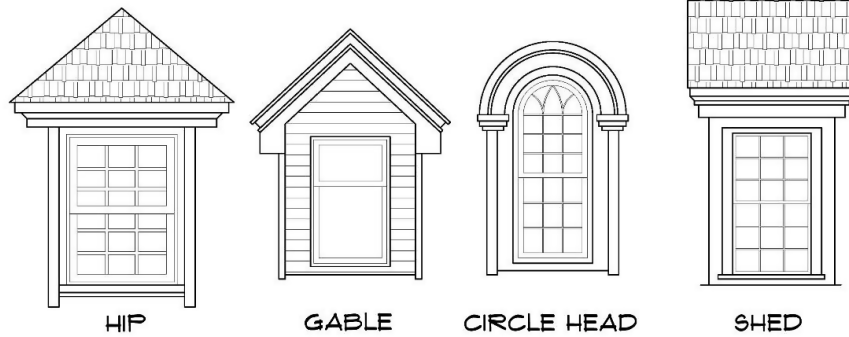


PEDIMENTED OR CROWN WINDOWS

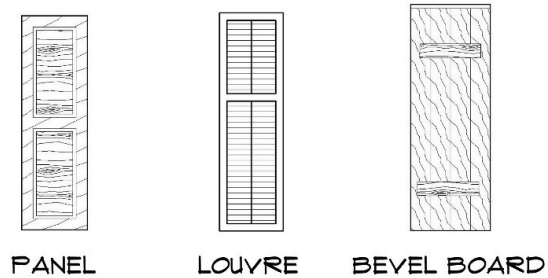
Figure 2: Windows and Window Crowns.



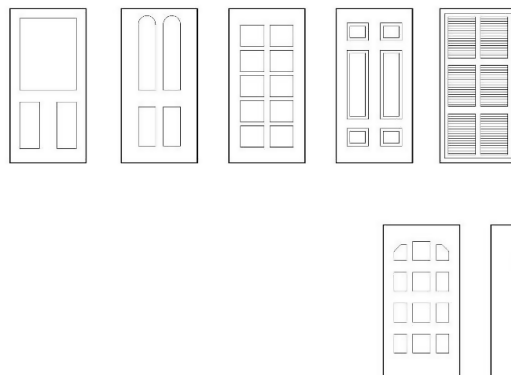
## DORMERS



## SHUTTERS



## DOORS



## SLIDING DOORS

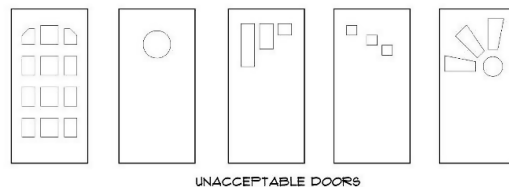
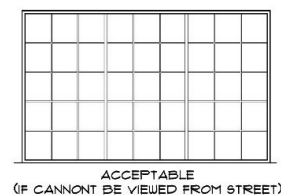


Figure 3: Dormers, Shutters, and Doors.



## 5. Roofs:

Building roofs should have similarities in form, color and materials which contribute to the desired character of West Point. Hip or gabled with pitches of between four feet in twelve and ten feet in twelve are recommended. Slope of the roofs should provide a balanced visual impression in relationship to the body of the dwelling. Large expanses of roof masses should be avoided or broken up by intersecting roofs or dormers. Slat, cedar shakes, clay tile, composition shingles, standing seam metal or copper are recommended roofing materials.

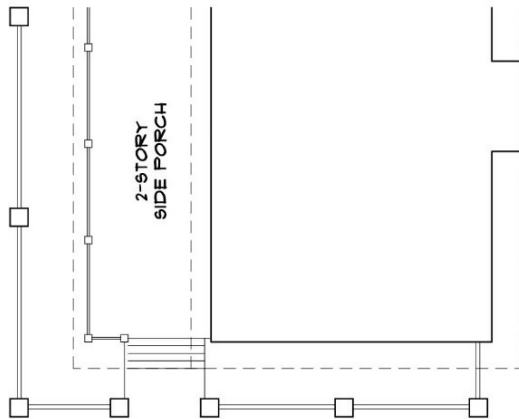
All roof accessories such as vent stacks and exhaust vents shall be painted to match roof color and located in the most unobtrusive way possible (away from front elevations). All flashing is to be copper or aluminum, except in the case of a metal roof where the flashing must be the same color as the roof, or materials approved by the ACC.

## 6. Chimneys:

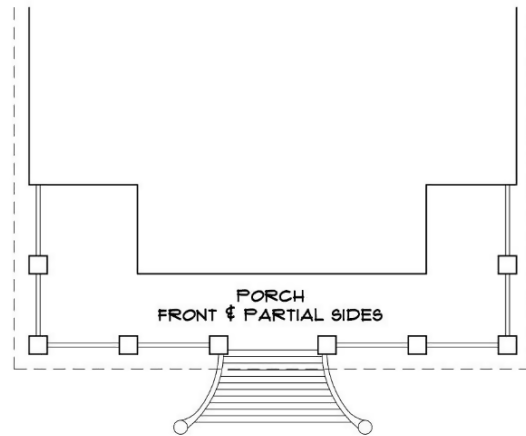
In order to maintain the traditional character desired at West Point, all chimneys must have masonry veneers. Exposed metal flues and prefab chimney caps are not permitted. The height above the roof must conform to local codes.

## 7. Verandas:

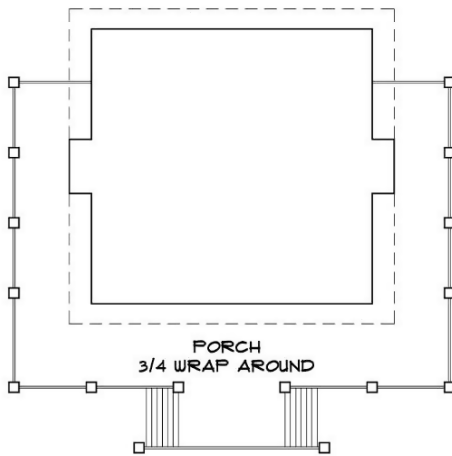
It is often the porch or veranda along with the specific details therein (columns, baluster, railings and cornices) that identify the style of a low country home. Verandas can take any number of shapes, from bordering the house on one side (usually the front) to a continuous porch circling the entire building. The accompanying illustrations exhibit some of the range often found in low country architecture. (See Figure 4 & 5)



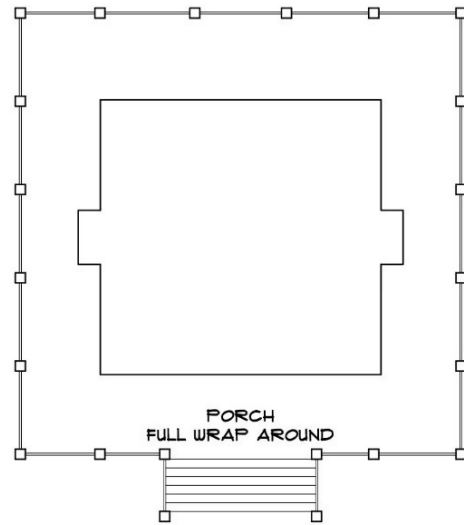
**CHARLESTON TOWNHOUSE  
ENTRANCE**



**"WELCOMING ARMS"  
ENTRANCE**



**DOUBLE STAIR  
ENTRANCE**

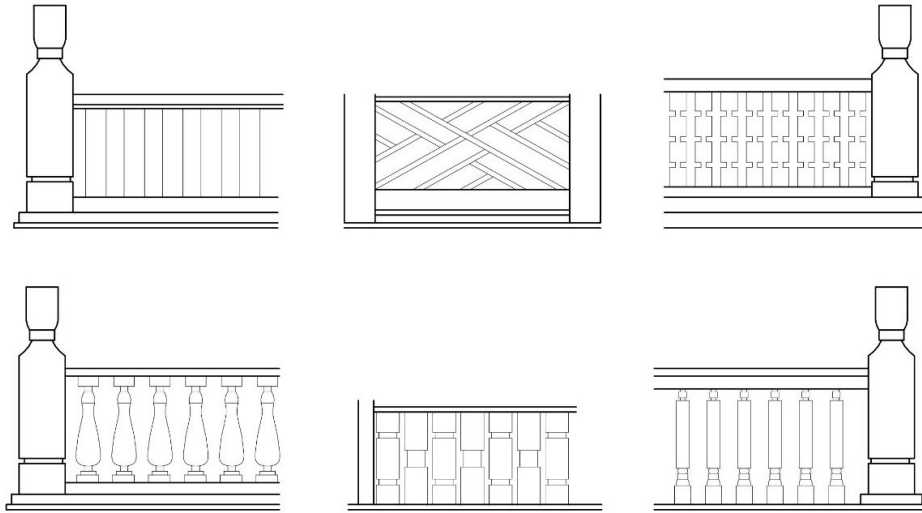


**STRAIGHT  
ENTRANCE**

Figure 4: Typical Porch Plans



## BALUSTERS



## COLUMNS

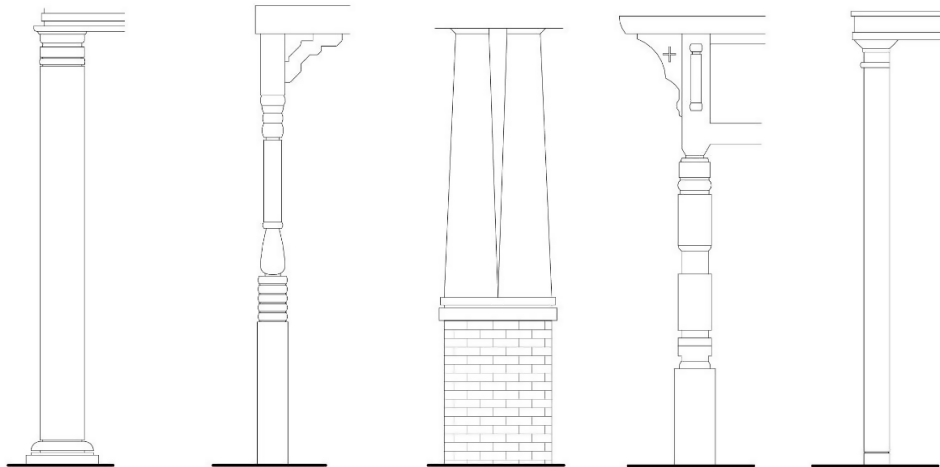


Figure 5: Typical Columns and Balusters

### 8. Garages:

All garages (minimum two car) must be a part of the main structure or attached by a covered passageway and in either case must not face any street. Garage doors should be compatible in style to the house. (See Figure 6)



Figure 6: Typical Garage Doors

## 9. Service Yards:

All homesites are required to have a service yard for HVAC equipment, trash receptacles, utility meters and miscellaneous equipment to be stored outside. These items to be contained within the service yard are to be screened from view by a fence or wall of at least six (6) feet in height. The screening wall or fence should be of a design material and color compatible with the house. Service yard pavement should be concrete.

## B. Site Planning Standards

### 1. Parking:

Minimum of two off-street parking spaces in addition to garage areas must be provided for each residence. This can be accomplished by a garage and open turning/parking area adjacent to the garage with driveway extending to the street or by the addition of a circular driveway in front of the house with allowance for two cars to park without blocking the drive. The driveway and parking area must be paved in concrete and/or approved brick pavers.

### 2. Hedges, Fences and Walls:

All lots must be separated by hedges, walls or fences. Hedges are the preferred means of separation between properties. Location, height, width, density and type of plants in hedges must be approved by the ACC. Chain link or wire fences are not acceptable. Hedges, fences, and walls must not extend past the front of house and must clear property lines by six inches (6 in.) on the sides except where a single means of separation is agreed upon in writing by adjoining property owners. Hedges must be at least three (3) feet in width.



All fences and walls must be approved by the ACC and must be constructed of approved materials and at approved heights. The most common approved fences or walls are for the following uses:

1. Service yard enclosure.
2. Dividers between front and back yards.
3. To provide privacy at property lines

Fences used for privacy should be from four feet (4 ft.) feet to six feet (6 ft.) in height and must be compatible with the materials and colors of the main house. (See Figures 7 & 8)

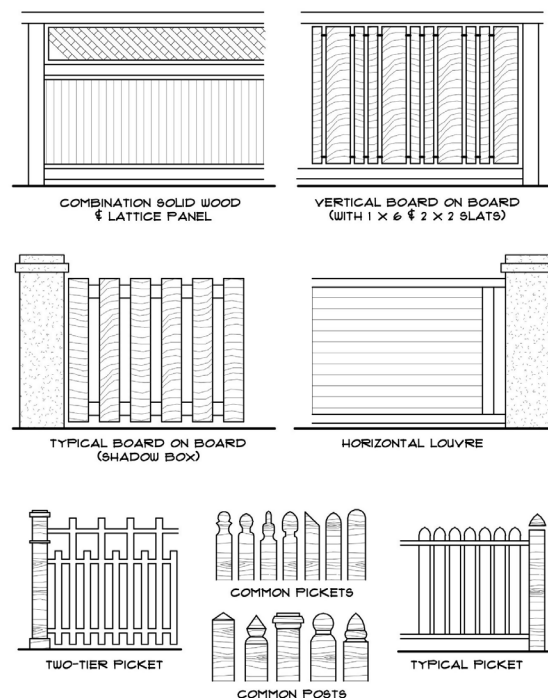
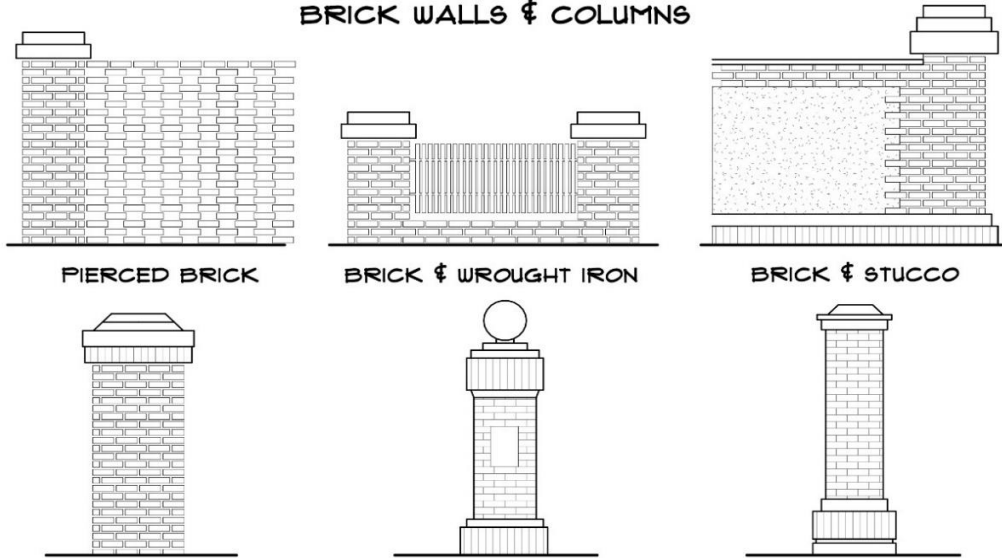


Figure 7: Typical Wood Fences



## BRICK WALLS & COLUMNS



## STUCCO WALLS & COLUMNS

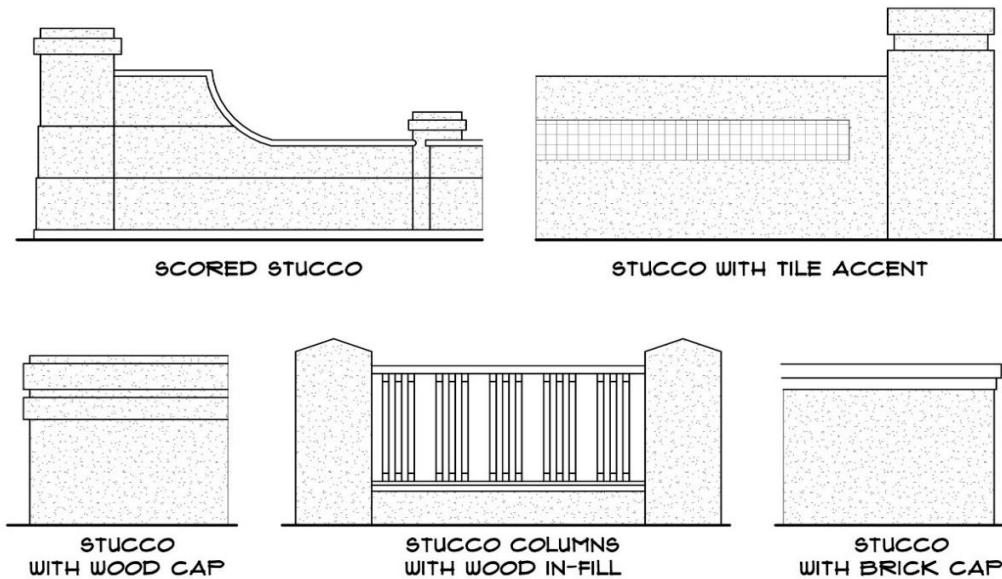


Figure 8: Typical Walls and Columns



### 3. Exterior Lighting:

Exterior lighting requires ACC approval and must be installed to avoid glare from light sources to neighboring properties and nearby traffic. Night lighting should be directed downward and confined to driveways, paths, steps and sidewalks. Lighting used to accent vegetation should be subtle, subdued and hidden from view. (See Figure 9)

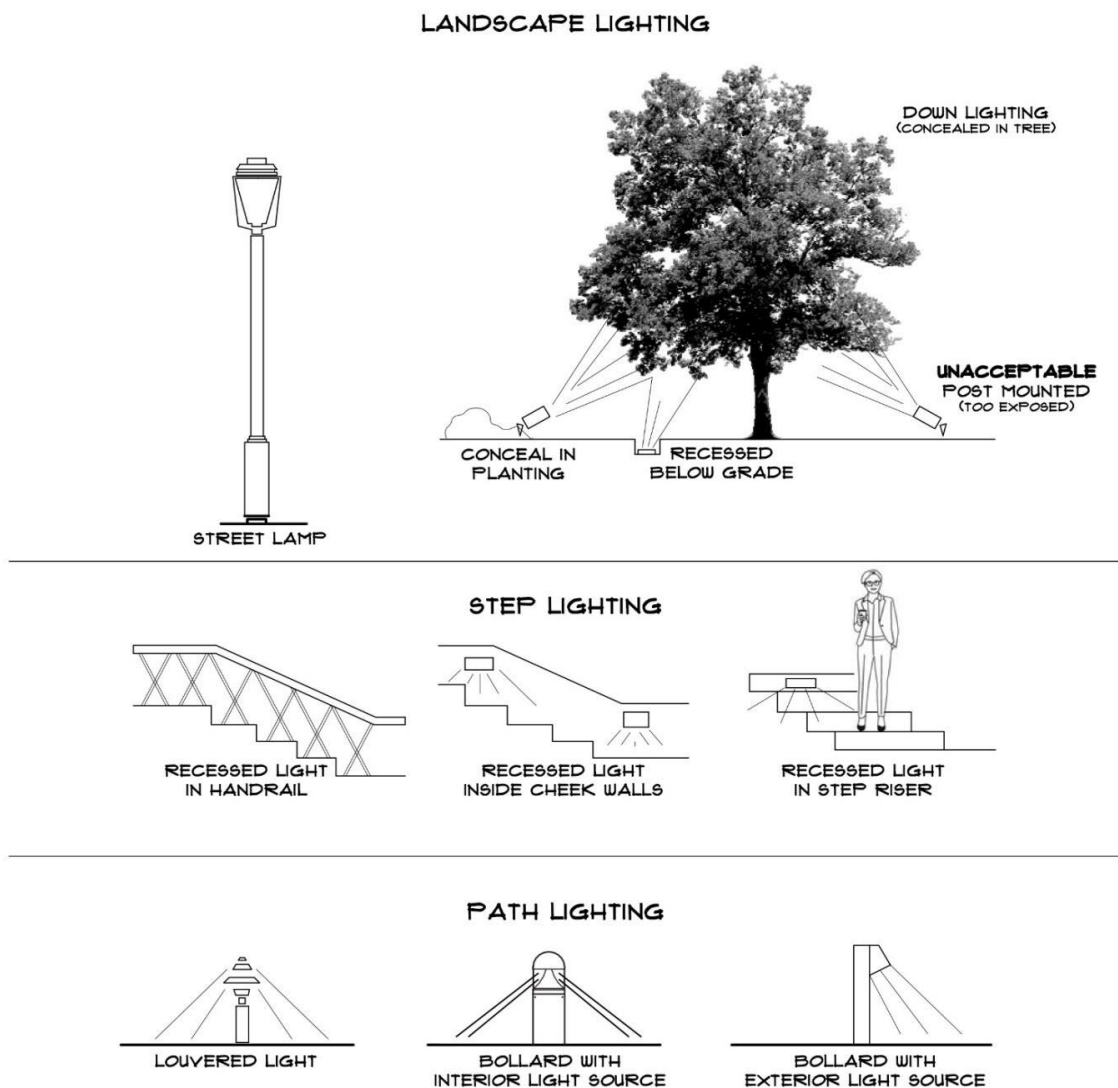


Figure 9



#### 4. Decks and Patios:

“Exterior rooms” created through the use of decks and patios should be designed to be an extension of the interior space. Decks and patios should be carefully located in order to preserve existing vegetation as well as provide a transition from the building to the landscape. Scale, dimension, detail and materials should be consistent with the architecture of the house. Brick, tile, wood or concrete aggregate are recommended paving materials.

### C. Landscape Requirements:

Landscaping must be adequate to properly complement the house and site. In successful designs, elements of the landscape and building unite to form a habitat compatible with its environment. Plans for any landscaping, grading excavation, or filling of lots must be approved by the ACC and conform to the following guidelines:

#### 1. Plant Material Considerations:

In general, proposed plant material should be easily available, deer resistant, drought resistant and cold hardy. New plantings seen from the street should have a natural and informal appearance. Formal plantings and landscape furnishings may be allowed in private gardens, side yards and back yards less visible from the street. (See Approved Plant List below)

#### 2. Planting Design:

A simple massing of plant materials is generally the most effective method of creating a successful planting scheme. A complicated planting scheme with exotic effects will be rejected. Lawn areas are required in open areas around homes where sunlight is available for most of the day. Wooded areas should be cleared of brush and natural grasses. Wooded areas should be preserved and enhanced with selective introduction of ground cover and edge plantings. Otherwise they should be covered with chips or pine straw with board edging. Plant material, berms, and low walls should be incorporated into the design to provide screening and privacy. For reasons of safety no planting which obstructs sight line above streets or roadways shall be permitted on corner lots.

#### a. **Approved Plant List** (Key: (E) = Evergreen Plant; (D) = Deciduous)

**Large Trees**

Acer rubrum – Red Maple (D)  
Betula nigra – River Birch (D)  
Ginkgo Biloba – Ginkgo (male varieties only) (D)  
Magnolia gradiflora – Southern Magnolia (E)  
Pinus Taeda – Loblolly Pine (E)  
Platanus occidentalis – Sycamore (D)  
Pyrus calleraana 'Bradford' – Bradford Flowering Pear (D)  
Quercus anadeu – Southern Red Oak (D)  
Quercus virginiana – Live Oak (E)  
Sabal palmetto – Sabal Palm (E)  
Salix babylonica – Weeping Willow (avoid planting near sewer lines) (D)  
Zelkova Serrata – Japanese Zelkova (D)

**Small Trees**

Cercis canadensis – Eastern Redbud (D)  
Cornus florida – Flowering Dogwood (D)  
Ilex attenuata hybrida – Savannah/Foster Holly (E)  
Ilex cassine – Dahoon Holly (E)  
Lagerstroemia indica – Crape Myrtle (D)  
Myrica cerifera – Wax Myrtle (E)  
Prunus caroliniana – Carolina Laurel Cherry (E)

**Large Shrubs**

Bambusa multiplex – Hedge Bamboo (E)  
Camellia japonica – Common Camellia (E)  
Cleyera japonica – Cleyera (E)  
Cortaderia selloana – Pampas Grass (D)  
Eleagnus pungens fruitlandi – Thorny Eleagnus (E)  
Ilex cornuta 'Burford' – Burford Holly (E)  
Ilex vomitoria – Yaupon Holly (E)  
Ilex aquifolium 'Nellie R. Stevens' – Nellie R. Stevens Holly (E)  
Ligustrum lucidum – Glossy Privet (E)  
Michelia fuscata – Banana Shrub (E)  
Nerium oleander – Red Oleander (E) (use cold hardy varieties)  
Osmanthus fragrans – Fragrant Tea Olive (E)  
Osmanthus fortunei – Fortune's Osmanthus (E)  
Photinia glabra – Japanese Photinia (E)  
Photinia x Fraseri – Fraser Photinia (E)  
Pittosporum Tobira – Pittosporum (E)

Pyracantha koidzumii – Formosa Firethorn (E)  
Trachycarpus fortunei – Windmill Palm (E)  
Yucca aliofolia – Spanish Bayonet (E)

**Medium Shrubs**

Azalea indica – Southern Indian Azalea (E)  
Aucuba japonica – Japanese Aucuba (E)  
Camellia sasanqua – Sasanqua Camellia (E)  
Forsythia intermedia – Border Forsythia (D)  
Gardenia jasminoides – Gardenia (E)  
Ilex cornuta burfordii 'Nana' – Dwarf Burford Holly (E)  
Ligustrum sinensis variegata – Variegated Privet (E)  
Nandina domestica – Nandina (E)  
Podocarpus macrophyllus 'Maki' – Japanese Yew (E)  
Pyracantha Koidzumii 'Low Dense' – Low Dense Pyracantha (E)  
Spiraea van houttei – Spiraea (D)  
Viburnum suspensum – Sandankua Viburnum (E)  
Yucca gloriosa – Mound Lily Yucca (E)

**Small Shrubs**

Azalea obtusum – Kurume Azalea (E)  
Azalea hybrida – Satsuki Azalea (E)  
Aucuba japonica 'Nana' – Dwarf Aucuba (E)  
Gardenia radicans – Creeping Gardenia (E)  
Ilex cornuta 'Carissa' – Carissa Holly (E)  
Ilex cornuta 'Rotunda' – Boxleaf Holly (E)  
Nandina domestica 'Harbor Dwarf' – Harbor Dwarf Nandina (E)  
Pittosporum tobira 'Wheelers Dwarf' – Dwarf Pittosporum (E)  
Raphiolepis indica – Dwarf Indian Hawthorne (E)

**Ground Cover**

Aspidistra elatior – Cast Iron Plant (E)  
Cyrtomium falcatum – Holly Fern (E)  
Hedera canariensis – Algerian Ivy (E)  
Hemerocallis – Daylily (D)  
Juniperus davurica 'Expansa' – Parsons Juniper (E)  
Trachelospermum Asiaticum – Asiatic Jasmine (E)  
Juniperus procumbens 'Nana' – Dwarf Japgarden Juniper (E)  
Liriope muscari – Liriope (E)  
Trachelospermum jasminoides – Confederate Jasmine (E)



### 3. Tree Protection:

Maintaining ground level plants in addition to the basic tree cover of each homesite preserves the general character of West Point and minimizes the amount of supplemental landscaping required to soften the impact of structure placed on the site. If a tree is to survive, its roots, bark and leaves must be largely undamaged. Therefore, ground disturbance and compacting within the drip line must be minimized. When filling within the drip line, a tree well must be installed. No trees shall be removed or damaged with a diameter of eight (8) inches four (4) feet above grade without ACC approval. (See Figure 10)

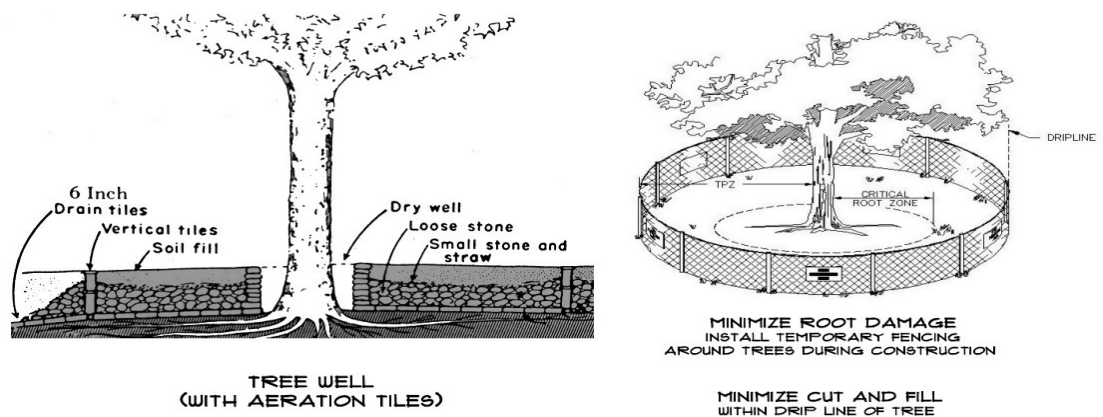


Figure 10: Tree Protection

### D. Grading and Drainage:

Site grading shall be kept to a minimum and existing drainage should be maintained. Grading or drainage must be designed to insure no storm water or roof water runoff is directed toward an adjacent homesite or into marsh areas. Runoff should be diverted into natural swales.



## **E. Swimming Pools:**

The location and design of all proposed swimming pools or in ground spas must be submitted to the ACC for approval on a case-by-case basis. Extreme care must be taken in locating pools to avoid an excessive amount of clearing and disturbance of existing vegetation. Pool equipment shall be placed inside an enclosure and preferably integrated into the service yard. Inflatable “bubble” pool covers and metal above ground pools are not permitted.

## **F. Mailboxes and House Numbers:**

A standardized mailbox and post with house numbers must be installed upon the Completed Construction review prior to occupancy of the home.

## **G. Signs:**

One two (2) by three (3) foot (or smaller) wooden sign will be allowed on site during construction. It should be single faced, and constructed in an appealing way, and placed parallel to the street. This sign may denote architect and contractor and must display all building permits etc. required. It must be removed after Completed Construction Review and before occupancy of home. No “For Sale” signs are allowed on any house or lot (other than the Developer’s signs denoting available lots & numbers)

## **IV. CONSTRUCTION GUIDELINES**

### **A. Before Construction:**

After completing the review process and before receiving final approvals and permits, the contractor must submit a construction application form and place a refundable deposit of \$2,000 before any materials deliveries, lot clearing or construction activity may begin. Contractor’s deposits are collected to ensure compliance with the approved plans, for any site maintenance and correction of any off-site damages caused by the contractor’s actions. This does not, however, relieve the contractor or owner from compliance to approved plans or from his clean-up responsibilities described herein. West Point also requires a refundable landscape deposit of \$2,500 from the property owner to ensure installation of the landscape plans as submitted and approved by the ACC.



In summary, the following steps must be completed before construction begins:

1. Submit construction application and pay \$4,500 refundable deposit.
2. Receive final approval from West Point Architecture Control Committee (ACC).
3. Obtain West Point and Glynn County building permits and post on job site.
4. Submit \$2,000 refundable builder's deposit.
5. Submit \$2,500 refundable landscape deposit.
6. Begin construction.

## **B. During Construction:**

1. **Inspections:** All construction in West Point Plantation will be under the observation of the ACC administrator. A mandatory Final Inspection will be made after the completion of all construction, and before occupancy. If any clean-up or alterations need to be made by West Point or the ACC, the cost will be deducted from the deposits. Please note that West Point or the ACC or its agents will assume no responsibility for inspecting in progress construction for compliance with approved plans. The owner of the property will assume full liability for failure of construction to comply with approved plans and governmental regulations.
2. **Access:** The West Point gates will be open for construction traffic from 7:00 A.M. until 7:00 P.M. Monday through Friday and 7:00 A.M. until 5:00 P.M. on Saturday. There will be no construction activities on Sundays, holidays or after the hours mentioned above. All workers must be driven to the job site and off the job site by the contractor at the end of the workday. Only material delivery vehicles and actual working vehicles will be allowed on the job site.
3. **Site / Construction Regulations:**
  - a. Each construction site is required to have portable toilet facilities for workers located in an inconspicuous area of the site.
  - b. All construction materials and equipment must be kept within the property lines and must be maintained in a neat and orderly manner. The storage of materials and equipment should be in a discrete location of the site and is not permitted under the drip line of the trees.
  - c. It is imperative that all sites be maintained in a clean and tidy manner therefore open trash piles are prohibited. Construction debris should be contained in a dumpster or wood box and is not to be in public view.



- d. Special care should be taken during construction to preserve existing vegetation. Any clearing, grading or building on site without approval of the ACC will result in suspension of work and denial of access. All trees which are not expressly authorized to be removed pursuant to the approved plans shall be protected by physical barriers acceptable to the ACC.
  - e. Fires are not permitted on any construction site at any time.
  - f. Temporary utilities must be installed for electricity and water. Temporary power poles must be erected plumb, temporary water services are provided by a county application tap fee.
  - g. The contractor or lot owner will be responsible for immediate and approved repairs to curbs, paving, utility lines and other existing finished work damaged as a result of construction or other site improvements.
4. **Electric Service:** Available through Georgia Power Company
5. **Potable Water, Sewer Service, and Garbage Disposal:** Potable water, sanitary sewer, storm sewer, trash and garbage disposal are available for homeowners through direct arrangements by the owner with Glynn County. The homeowner is responsible to run utilities from street to house.
6. **Irrigation Water:** Underground piping carries water for irrigation (not potable water) to each lot.
7. **Cable Television:** Underground cables are available to homeowners through arrangements made by owner with Xfinity and/or ATT.
8. **Telephone Service:** Underground cables are available to homeowners through arrangements made by owner with Xfinity and/or ATT.
9. **Contractor Regulations:**
- a. All builders must be licensed and insured in Georgia.
  - b. Property owners are responsible for their contractors and contractors are responsible for their employees and subcontractors. Workers must always wear proper dress including shirts and shoes. Loud music from radios and/or improper language is not permitted.



- c. The possession of and consumption of alcohol or drugs is prohibited. Violators will be removed from the property.
- d. Firearms or other weapons are prohibited anywhere on the property.
- e. All construction personnel and visitors are subject to the regulations and control of the management of West Point Plantation.
- f. Parking during construction. Vehicles, construction equipment and materials may be parked or placed anywhere on the lot. Workers' vehicles may be parked on the street right of way in front of the lot by not on the sidewalks.

## C. After Construction:

Upon completion of house and landscaping, clean-up and removal of debris from the site and removal of temporary utilities and builder's sign, the contractor should notify the ACC to schedule a final inspection. An ACC board member or agent will conduct a final inspection and verify that all plans were followed as approved. West Point reserves the right to employ workers to correct any exterior changes made without approval or to clean up an unacceptable site as needed. These expenses must be deducted from the contractor's deposit or the owner will be back charged for the cost of such work. As a check list, the following are items that must be completed prior to final inspection:

1. Complete construction
2. Install landscaping
3. Remove dumpster and portable toilet
4. Remove all temporary utilities
5. Remove contractor sign
6. Remove any remaining debris
7. Repair any damage to curbs, right-of-way, common areas or adjacent property

When all the above items are completed, notify the ACC to schedule the final inspection. Any unauthorized changes and/or deficiencies must be corrected before final inspection approval will be granted and deposits refunded. All corrective work must be completed within thirty (30) days of receipt of a letter from the ACC outlining those items in need of attention.



Upon final satisfactory completion of the final inspection, a mailbox and post with the house number attached will be installed by the ACC and a certificate of occupancy issued.

The above regulations are designed to enhance West Point's overall appearance. These regulations are to be used as guidelines and are not intended to restrict, penalize or impede construction firms who adhere to these regulations. Repeated violation of these regulations will result in the suspension of the building permit until corrective action has been taken.

West Point Plantation, LLC does not in any way assume responsibility for inspection of the architectural requirements, the building process, or the adherence by property owners and/or contractors to state and county building codes and requirements. The approval of drawings and the inspections performed as well as the subsequent approval documents used by the West Point ACC indicate that the processes and the procedures have been followed and that no substantial and obvious violations of the codes and restrictions have been recognized.



## West Point

St. Simons Island, Georgia

### APPLICATION FOR APPROVAL OF RESIDENTIAL CONSTRUCTION

#### PROPERTY OWNER

Owner's Name:	Lot No.	
Address:	Date:	
City:	State:	ZIP:
Home Phone:	Business:	
Cell:	Email:	

#### CONTRACTOR

Contractor:		
Address:		
City:	State:	ZIP:
Business Phone:	Cell:	
Home:	Email:	

#### ARCHITECT

Name:		
Address:		
City:	State:	ZIP:
Business Phone:	Cell:	
Home:	Email:	



**Type of Construction:**

- ☐ New Construction
- ☐ Addition/Renovation/Change
- ☐ Other \*

**Type of Approval Requested:**

- ☐ Preliminary Approval
- ☐ Final Approval
- ☐ Other \*

**\* Other Construction:**

\*

**\* Other Approval:**

\*

**FOR ARCHITECTURAL CONTROL COMMITTEE USE ONLY:**

Preliminary Approval Action:

Date:

**Comments:**

Final Approval Action:

Date:

**Comments:**

**West Point Building Permit issued:**

Date:

Permit No.

**Comments:**



## PRE-CONSTRUCTION INFORMATION

### Enclosed heated area (square footage):

\_\_\_\_\_ First floor                      \_\_\_\_\_ Garage area  
\_\_\_\_\_ Second floor                      \_\_\_\_\_ Porch/deck area  
\_\_\_\_\_ Total Heated Square Footage                      Bedrooms \_\_\_\_\_ Down \_\_\_\_\_ Up \_\_\_\_\_  
                                                                                                 Baths \_\_\_\_\_ ½ Baths \_\_\_\_\_

### PLANS:

- |                                                       |                                                          |
|-------------------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> Site plan submitted          | <input type="checkbox"/> Heat & air drawings submitted   |
| <input type="checkbox"/> Floor plan(s) submitted      | <input type="checkbox"/> Wall section drawings submitted |
| <input type="checkbox"/> Elevation drawings submitted | <input type="checkbox"/> Foundation drawings submitted   |
| <input type="checkbox"/> Landscape drawings submitted | <input type="checkbox"/> Roof drawings submitted         |
| <input type="checkbox"/> Electric drawing submitted   | <input type="checkbox"/> Plumbing drawing submitted      |

### EXTERIOR MATERIALS & COLORS:

Item:	Material:	Color:	Manufacturer/Model:
Siding (wood):		Siding (masonry):	
Roofing:			
Fascia (trim):			
Shutters:			
Front Door:		Ext. Doors:	
Garage Door:			
Windows:			
Chimney:			
Drive paving:			
Walks paving:			
Patio paving:			
Deck:			
Other:			
Pool:	Size:	Type:	Enclosure: